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# FITZROVIA

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2-4 WHITFIELD STREET W1



CLASS E SHOP/SHOWROOM

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## LOCATION

This prominent retail property occupies a desirable position at the lower end of **Whitfield Street**, where it intersects with **Windmill Street**. It sits directly opposite Lewis Leathers and adjacent to **The Royal Cocktail Exchange**, with nearby occupiers including **Sunji Hair Salon**, **Rachel's Coffee**, **Define Clinic**, **Jeju Hair**, and **Cornflake**. **Tottenham Court Road** is within approximately 50 metres of the property.

## ACCOMMODATION

These premises benefit from a wide frontage to Whitfield Street and are arranged over ground and lower ground floor levels, providing the following net internal dimensions and approximate floor areas:

|                      |                    |                    |
|----------------------|--------------------|--------------------|
| Gross frontage       | 25ft 9ins          | 7.85 m             |
| Internal width (max) | 24ft 10ins         | 7.56 m             |
| Ground floor         | 526 sq ft          | 48.87 sq m         |
| Lower ground floor   | 687 sq ft          | 63.82 sq m         |
| <b>Total</b>         | <b>1,213 sq ft</b> | <b>112.69 sq m</b> |

The premises are currently fitted as a café/coffee shop.

## TENURE

The premises are available on a new lease which is to be contracted outside the security of tenure & compensation provisions of the Landlord & Tenant Act 1954 Part II.

## RENT

The quoting rent is £48,500 per annum exclusive.

## USE

We understand the premises have Class E use. Interested parties are advised to make their own enquiries with Camden Borough Council Planning Department.

## RATES

The Rateable Value (April 2026 listing) is currently assessed at £40,750. We estimate the rates payable in 2026/27 to be approx. £17,523 per annum.

Interested parties should verify the above figures for themselves with the local authority or by referring to [www.voa.gov.uk](http://www.voa.gov.uk).

## EPC

The property has a D rating. A copy of the EPC can be made available on request.

## VIEWING

Viewings are strictly by prior appointment through the sole retained agents:

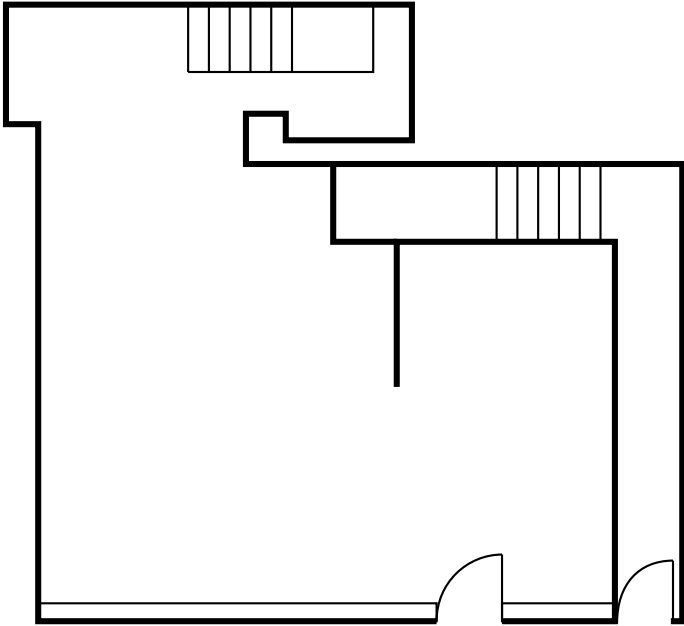
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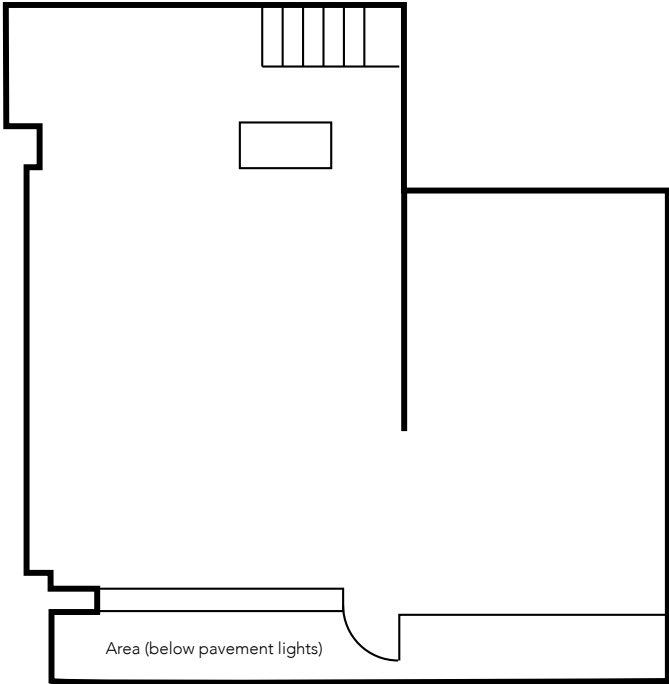
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# GROUND FLOOR



# BASEMENT



NOT TO SCALE. FOR INDICATIVE PURPOSES ONLY.

